



ZONING BOARD OF APPEALS
Regular Meeting
May 1, 2019
7:00p.m.

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF MINUTES
 - April 3, 2019 Regular ZBA Meeting
5. CORRESPONDENCE / BOARD REPORTS
 - Boards and Commissions Expiration Dates
6. APPROVAL OF AGENDA
7. PUBLIC COMMENT: Restricted to (3) minutes regarding issues not on this agenda
8. NEW BUSINESS
 - A. **VAR 2019-04** – Public Hearing - 1963 E. Remus Rd., Mt Pleasant, MI 48858
Owner: McDonald's USA LLC: A variance from section 8.325 Sidewalks
(Conduct a Public Hearing. *Grant or deny Variance Request with reason.*
Conditions may apply)
9. OTHER BUISINESS
10. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue
11. FINAL BOARD COMMENT
12. ADJOURNMENT

Charter Township of Union



Peter Gallinat, Township Planner
pgallinat@uniontownshipmi.com
2010 South Lincoln
Mt. Pleasant, MI 48858
Phone 989-772-4600 Ext. 241
Fax 989-773-1988

TO: Zoning Board of Appeals
FROM: Township Planner

Meeting 05/01/2019

NEW BUSINESS

SUBJECT: A) VAR 2019-04 Variance from sections 8.325 for the construction of a sidewalk along S. Lincoln Rd. located at 1963 E. Remus Rd. Mt. Pleasant, MI 48858 Owner: McDonalds USA LLC

Location: 1963 E. Remus Rd. Mt Pleasant MI, 48858

Current Zoning: B-5 (Highway Business District)

Adjacent Zoning: B-5

Future Land Use/Intent: *Retail Service:* This district is intended for the widest variety of retail and service businesses. They could range from apparel shops, auto service, and restaurants through small commercial strip centers and office buildings. This district is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well-managed access. *(Please note that FLU is more for rezoning and not to be used to weigh heavily into Variances.)*

Reason for Request: Relief from constructing a sidewalk along S. Lincoln Rd.

History: The Planning Commission approved SPR-2019-02 without granting provisional relief for sidewalk construction along Remus Rd. The Planning Commission then approved SPA 2019-01 again without granting provisional relief for sidewalk construction along Remus Rd. During both reviews the PC did not discuss Lincoln Rd as it is a designated priority street per the Township Sidewalk Policy.

Objective of board: Review section 8.325 of the Zoning Ordinance. Determine from section 5.8.C.1.a-e if a variance should be granted or denied with reason.

I would recommend denial of what the applicant has requested. All new construction or additions requiring Site Plan Review per Section 12 of the Zoning Ordinance are required to construct sidewalks. All commercial uses require site plan approval by the Planning Commission.

Twp Planner
Peter Gallinat

CHARTER TOWNSHIP OF UNION
Zoning Board of Appeals
Regular Meeting

A regular meeting of the Charter Township of Zoning Board of Appeals was held on April 3, 2019 at 7:00 p.m. at Union Township Hall.

Meeting was called to order at 7:00 p.m.

Roll Call

Present: Jake Hunter, Bryan Mielke, Taylor Sheahan-Stahl, Andy Theisen, and Tim Warner

Others Present

Peter Gallinat, Jennifer Loveberry, and alternate John Zerbe

Approval of Minutes

Theisen moved **Sheahan-Stahl** supported the approval of the March 6, 2019 minutes as presented. **Vote: Ayes: 5 Nays 0. Motion carried.**

Correspondence / Board Reports

Mielke - updates from the Planning Commission

Approval of Agenda

Mielke moved **Sheahan-Stahl** supported to approve the agenda as presented. **Vote: Ayes: 5 Nays 0. Motion carried.**

Public Comment: Restricted to (3) minutes regarding issues not on this Agenda

Open – 7:03 p.m.

No comments were offered.

New Business

- A. VAR 2019-03 - 5316 E. Pickard., Mt Pleasant, MI 48858 Owner: SOS Holding Company LLC: A variance from section 24.4.1 for parking area setback requirement**

Township Planner, Gallinat read the Public Hearing Notice for Variance 2019-03, a variance from section 24.4.1, requesting 10 feet for parking area setback requirement. Background history was given, stating that the applicant currently has an approved site plan, with the condition that this variance is granted.

Public Hearing

Public Hearing – open 7:05 p.m.

No Comments were offered.

Public Hearing – closed 7:05 p.m.

Tim Beebe of CMS&D, representative of the applicant, stated the desire of a 10ft variance from the 20ft requirement for parking area setback from the right of way.

Discussion was held by the ZBA board.

Sheahan-Stahl moved **Hunter** supported to approve VAR 2019-03 for 10 feet for parking lot setback requirement, based on the criteria from section 5.8.C.a of the Board of Appeals powers and duties section, that special conditions and circumstances exist that are peculiar to the land, structure, or building involved and that are not applicable to other lands, structures, or buildings in the same Zoning District. **Vote: Ayes: 5 Nays 0. Motion carried.**

Township Planner, Gallinat stated that there would be a 21-day appeal period before the decision is final. Starting after the minutes are approved at the next scheduled meeting in May 2019.

Other Business

Extended Public Comment

Open 7:29 p.m.

No comments were offered.

Final Board Comment

Theisen suggested thoroughly going over section 5.8 Board of Appeals: Powers and Duties during the zoning rewrite

Adjournment

Chair Warner adjourned the meeting at 7:31 p.m.

APPROVED BY:

Jake Hunter –Secretary
Andy Theisen – Vice Secretary

(Recorded by Jennifer Loveberry)



Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Lisa	Cody	11/20/2020
2-Chair	Phil	Squattrito	2/15/2020
3- Vice Chair	Bryan	Mielke	2/15/2021
4-Secretary	Alex	Fuller	2/15/2020
5 - Vice Secretary	Mike	Darin	2/15/2022
6	Stan	Shingles	2/15/2021
7	Ryan	Buckley	2/15/2022
8	Denise	Webster	2/15/2020
9	Doug	LaBelle II	2/15/2022
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1-Chair	Tim	Warner	12/31/2019
2-PC Rep / Vice Chair	Bryan	Mielke	2/18/2021
3-Secretary	Jake	Hunter	12/31/2019
4- Vice Secretary	Andy	Theisen	12/31/2019
5	Taylor	Sheahan-Stahl	12/31/2021
Alt. #1	John	Zerbe	12/31/2019
Alt. #2	Liz	Presnell	2/15/2021
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2020
2	James	Thering	12/31/2020
3	Bryan	Neyer	12/31/2020
Alt #1	Randy	Golden	1/25/2021
Citizens Task Force on Sustainability (4 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Don	Long	12/31/2020
2	Mike	Lyon	12/31/2020
3	vacant seat		12/31/2018
4	Phil	Mikus	11/20/2020
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herron	12/31/2019
2	Richard	Jakubiec	12/31/2019
3	Andy	Theisen	12/31/2019
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2020
2	John	Dinse	12/31/2019
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2019
2	Lynn	Laskowsky	12/31/2021



Board Expiration Dates

EDA Board Members (11 Members) 4 year term			
#	F Name	L Name	Expiration Date
1	Thomas	Kequom	4/14/2023
2	James	Zalud	4/14/2023
3	Richard	Barz	2/13/2021
4	Robert	Bacon	1/13/2023
5	Ben	Gunning	11/20/2020
6	Marty	Figg	6/22/2022
7	Sarvjit	Chowdhary	1/20/2022
8	Cheryl	Hunter	6/22/2019
9	Vance	Johnson	2/13/2021
10	Michael	Smith	2/13/2021
11	David	Coyne	3/26/2022
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2020
2	Vacant		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Brian	Smith	12/31/2019
Sidewalks and Pathways Prioritization Committee (2 year term)			
#	F Name	L Name	Expiration Date
1 BOT Representative	Phil	Mikus	7/26/2019
2 PC Representative	Denise	Webster	8/15/2020
3 Township Resident	Sherrie	Teall	8/15/2019
4 Township Resident	Jeremy	MacDonald	10/17/2020
5 Member at large	Connie	Bills	8/15/2019



NOTICE OF APPEAL
Charter Township of Union

ZONING BOARD OF APPEALS

DATE: 3/22/19

I (we) McDonald's USA, LLC - John Lorentzen, ACM 110 N. Carpenter St., Chicago, IL 60607
Name Address

owners of property at 1963 E. Remus Road, Union Twp., MI

the legal description is: See Site Plan, Sheet C1

respectfully request that a determination be made by the Zoning Board of Appeals on the following appeal or application which was denied by the Zoning Inspector because, in the opinion of said inspector, does not comply with the Union Township Zoning Ordinance and therefore must come before the Zoning Board of Appeals:

- X I. Variance
II. Interpretation of Text or Map
III. Administrative Review

NOTE: Use one section below as appropriate. If space provided is inadequate, use a separate sheet.

- I. Written application for a zone variance as provided by the Zoning Ordinance Section 5 (c)

a. Provision of the Zoning Ordinance from which a variance is sought 8.325

DESCRIPTION	REQUIRED	DESIRED (I can only provide X)	VARIANCE (= Required – Desired)
Example – Side Yard	10 feet	8 feet	2 feet
Township property along Lincoln Road	350 L.F. sidewalk construction	Not Feasible	Requesting Relief

b. What are the special conditions and/or circumstances peculiar to this land, structure, or building which are not found belonging to similar properties in the same zoning district in other parts of Union Township?

This site has (2) retention basins; steep grade changes in close proximity to Lincoln Rd.; spillways; swales & ditches, a gate valve; power and utility poles w/guy wires.

There are no sidewalks along Lincoln Road at the property to the north, east or south of McDonald's restaurant site.

c. Which is any of the above (b) special conditions or circumstances are the direct result from actions taken by the applicant for this variance?

None. The existing conditions are the result of required detention basins and the site drainage design from the original construction development of 1995.

d. If the Zoning Ordinance were to be strictly enforced in your particular case, what would be the nature and extent of unnecessary hardships or particular difficulties?

The required existing retention basins, as well as swales and ditches, along Lincoln Road would need to be re-designed and reconfigured in order to install 350 lineal feet of an A.D.A. compliant sidewalk. There are existing spillways from Lincoln Road to the retention basins that would interfere with a sidewalk, potentially causing improper drainage and a pedestrian safety hazard.

- e. If your request for the variance was granted, do you feel that you would have been given any special privileges that others in the same zoning district would not have? No If yes, please explain:
-
-

- f. Attach plot plan, showing lot lines, location of existing building, proposed buildings and any additions to existing buildings, plus distance from property lines.

- g. Date property was acquired 1995
-

II. Appeal for Interpretation

Relating to enforcement of the Zoning Ordinance

a. Article, section, subsection, or paragraph in question

b. Describe if interpretation of district map

III. Administrative Review

a. Article, section, subsection, or paragraph in question

Fees \$350.00

Signature of Applicant / Owner - *John C. Christensen* ACM

TORCHER / MARTIN ASSOC. *JOHN C. CHRISTENSEN.*
FRANK E. MARTIN, AIA.

FOR ZONING BOARD OF APPEALS USE ONLY

Appeals received, date: _____

Public Notice published, date: _____

Public Notice mailed, date: _____

Hearing held, date: _____

Decision of Board of Appeals: _____

Reasons: _____

UNION TOWNSHIP OFFICE TO COMPLETE THIS SHEET FOR VARIANCE ONLY

AFFIDAVIT OF PUBLICATION

2125 Butterfield Dr, Suite 102N • Troy MI 48084

CHARTER TOWNSHIP OF UNION
2010 S Lincoln

Mount Pleasant, MI 48858
Attention: PETER GALLINAT

STATE OF MICHIGAN,
COUNTY OF ISABELLA

The undersigned Cyndy Slater *Cyndy Slater*, being duly sworn the he/she is the principal clerk of Morning Sun, morningstarpublishing.com, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

CHARTER TOWNSHIP OF UNION

Published in the following edition(s):

Morning Sun	04/16/19
morningstarpublishing.com	04/16/19

Union Township Public Hearing Notice - Variance

NOTICE is hereby given that a Public Hearing will be held on Wednesday, May 1, 2019, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Zoning Board of Appeals for the purpose of hearing any interested persons in the following request for a Variance from Sections 8.325 as required by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by: McDonalds USA LLC: A variance from section 8.325 Sidewalks

Legal Description of property: T14N R4W SEC 17 BEG AT SE SEC COR TH W 300' TH N 400' THE E 300' TH S 400' BK TO POB UTIL EZMT L843 P367 MCOPCO 2983 NATIONAL 17104

This property is located at 1963 Remus Rd.

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone number (989) 772-4600 Ext. 241.

Peter Gallinat, Union Twp. Planner

Published: April 16, 2019



Sworn to the subscribed before me this 17th April 2019

Tina M Crown

Notary Public, State of Michigan
Acting in Oakland County

Advertisement Information

Client Id: 531226 Ad Id: 1787323 PO: Sales Person: 200301

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Requested by: **McDonalds USA LLC.**: A variance from section 8.325 Sidewalks

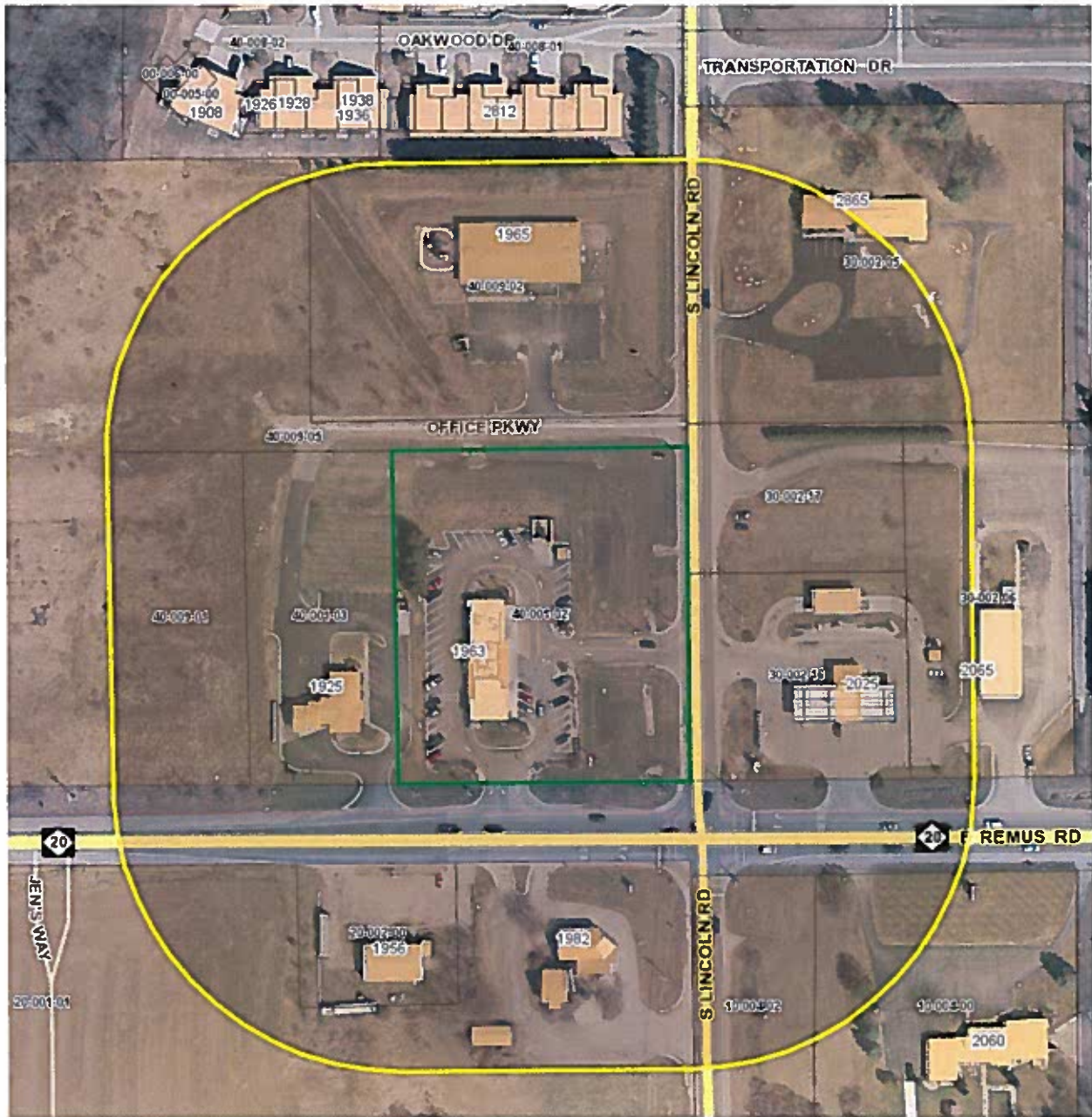
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Peter Gallinat, Union Twp. Planner



The GREEN outlined parcel represents the applicant, McDonalds located at 1963 E. Remus Rd. The YELLOW border around the subject parcel is a 300ft radius. Owners within the 300ft radius are sent notice of the public hearing for variance request.

STB REALTY LLC
1321 PINE AVE
ALMA, MI 48801

RYAN'S INVESTMENTS LLC
PO BOX 753
MOUNT PLEASANT, MI 48804-0753

RI CS4 LLC
11995 EL CAMINO REAL
SAN DIEGO, CA 92130

IMPERIAL COMPANY
PO BOX 408
MOUNT PLEASANT, MI 48804-0408

MCDONALDS CORPORATION (21-1306
PO BOX 182571
COLUMBUS, OH 43218-2571

FIRSTBANK
102 S MAIN ST
MT. PLEASANT, MI 48858

TWENTY WEST PARTNERSHIP INC
PO BOX 329
MOUNT PLEASANT, MI 48804-0329

CREATIVE BEGINNINGS CHILD
1965 E OFFICE- PKWY
MT PLEASANT, MI 48858

MAAS DEVELOPMENT II LLC
2445 S LINCOLN RD
MT PLEASANT, MI 48858

MCGUIRK MINI STORAGE INC
PO BOX 530
MT PLEASANT, MI 48804-0530

MCGUIRK MINI STORAGE INC
PO BOX 530
MT PLEASANT, MI 48804-0530

MID MICHIGAN PROPERTY GROUP
2060 E REMUS RD
MOUNT PLEASANT, MI 48858

CAMPBELL ANNA M TRUST
2732 ELAND CT
MOUNT PLEASANT, MI 48858

I certify that Public Notices for
file # _____ were
mailed on _____ to all persons listed on
this _____ (signature)

I certify that Public Notices for
file # VAR 2011-04 were
mailed on 4/16/19 to all persons listed on
this Peter Xellert (signature)

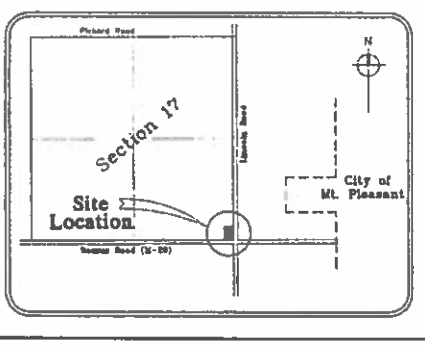
PUBLIC WALK NOTES

- A THE PROPOSED CONCRETE PUBLIC SIDEWALK ALONG LINCOLN ROAD IS SHOWN FOR DIAGNOSTIC PURPOSES ONLY - A ZBA VARIANCE REQUEST WILL BE SUBMITTED IN ORDER TO OBTAIN PROVISIONAL RELIEF DUE TO UNIQUE EXISTING SITE CONDITIONS (E.G. RETENTION BASIN, SWALES, ETC.) SEE SHEET C2 FOR REFERENCE ONLY.
- B THE PROPOSED CONCRETE PUBLIC SIDEWALK ALONG REMUS ROAD IS SHOWN FOR DIAGNOSTIC PURPOSES ONLY - PROVISIONAL RELIEF WILL BE REQUESTED OF THE PLANNING COMMISSION DUE TO UNIQUE EXISTING SITE CONDITIONS (E.G. RETENTION BASINS, SWALES, ETC.). SEE SHEET C3 FOR REFERENCE ONLY.

TAGGED SITE NOTES

- 1 RE-STRIPE CROSSWALK AS SHOWN.
 - 2 REMOVE EX'G ASPHALT PAVING AND REPAVE BARRIER-FREE PARKING AREA W/ 6" CONC. SLAB SO AS NOT TO EXCEED A 2% SLOPE IN ANY DIRECTION. STRIPE AND MARK BARRIER-FREE SPACES & AISLE AND PROVIDE B.F. PARKING SIGNAGE PER ADA REQUIREMENTS. (SEE BARRIER REPORT NOTE #1)
 - 3 PROVIDE NEW CONCRETE BARRIER-FREE RAMP AND LANDINGS. (SEE BARRIER REPORT NOTES #2 & 3, ALSO SEE "ADA SITE COMPLIANCE NOTES", THIS SHEET)
 - 4 REMOVE AND REPLACE SECTIONS OF CONCRETE WALK SO THAT CROSS SLOPE DOES NOT EXCEED 2% AND RUNNING SLOPE DOES NOT EXCEED 5% (SEE BARRIER REPORT NOTE #4)
 - 5 PROVIDE ACCESSIBLE SIGNAGE PER ADA REQUIREMENTS. (SEE BARRIER REPORT NOTE #5 AND FLOOR PLAN FOR SIGNAGE PLACEMENT)
 - 6 PROVIDE SPEECH AND HEARING IMPAIRED SIGNAGE PER MCDONALD'S STANDARDS / A.D.A. REQUIREMENTS. (SEE BARRIER REPORT NOTE #6 AND FLOOR PLAN FOR SIGNAGE PLACEMENT)
 - 7 PROPOSED CONSTRUCTION OF MCDONALD'S "BRANDING ELEMENT" - SEE FLOOR PLAN AND ELEVATIONS FOR EXTENT OF PROPOSED EXTERIOR IMPROVEMENTS.
 - 8 PROVIDE (2) OOSP PULL-FORWARD AND (2) MOBILE-ORDER PICK-UP SPACES. DESIGNATE WITH SIGNAGE AND DOUBLE-STRIPING PER MCDONALD'S STANDARDS.
 - 9 RE-PAINT D.T. PAVEMENT MARKINGS AS REQUIRED PER MCDONALD'S SITE AND DRIVE-THRU STANDARDS - TYP. THROUGHOUT SITE. SEE GENERAL NOTE #12. THIS SHEET.
 - 10 IF EXISTING BUILDING IS TO BE PAINTED, PAINT EXISTING TRASH CORRAL AND NEW RECYCLE BIN TO MATCH BUILDING NEW BASE COLOR (SEE SHEET C16)
 - 11 VERIFY EXISTENCE OF DETECTOR LOOP IN FIELD. SEE GENERAL NOTE #4. THIS SHEET, AND REFER TO MCDONALD'S STANDARD DRIVE-THRU DETAIL SHEET DT-1.
 - 12 NEW SIDE-BY-SIDE DRIVE-THRU: REMOVE EXISTING DRIVE-THRU EQUIPMENT (FOUNDATIONS CAN REMAIN PROVIDED THEY DO NOT INTERFERE WITH INSTALLATION OF NEW EQUIPMENT). INSTALL NEW SPEAKER/CANOPY, DETECTOR LOOP, COD/MENU-BOARD AND PRE-BROWSE BOARD AS SHOWN PER MCDONALD'S SIDE-BY-SIDE DRIVE-THRU STANDARDS (TYP. OF 2 EACH)*. (SEE SHEETS C2a, CP2, CP3 & CP4)
 - 13 NEW SIDE-BY-SIDE DRIVE-THRU: REMOVE EXISTING GATEWAY, INSTALL NEW DOUBLE-ARM GATEWAY. (SEE SHEET C2a AND CP4)*
 - 14 REMOVE EXISTING CONC. CURB, LANDSCAPE AND/OR ASPHALT PAVING
 - 15 PROVIDE NEW CONC. CURB AND PAVING FOR NEW SIDE-BY-SIDE DRIVE-THRU LAYOUT
 - 16 NEW RECYCLE BIN CONSTRUCTION TO MATCH EXISTING TRASH CORRAL HEIGHT, MATERIAL AND FINISH, WITH CONC. PAD AND APPROACH (SEE CIVIL SHEET C2). PROVIDE (1) SET OF GATES TO FIT OPENING-AND MATCH EXISTING.
 - 17 EXISTING LOT LIGHT TO BE REMOVED AND RELOCATED.
 - 18 NEW LANDSCAPE AREA: THE REMOVAL OF ASPHALT PAVEMENT WITHIN (3) PARKING SPACES ALONG WITH THE REPLACEMENT OF NEW LANDSCAPING WILL RESULT IN THE NET GAIN OF 135 S.F. OF PERVIOUS LAND AREA TO THE ENTIRE SITE.
- * ANCHOR BOLT PATTERN FOR NEW DRIVE-THRU EQUIPMENT FOUNDATIONS TO BE PLACED PARALLEL/SQUARE TO THE FACE OF THE RESPECTIVE EQUIPMENT.

LOCATION MAP

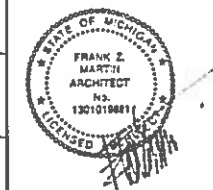


LEGAL DESCRIPTION

Parcel Description
Part of the South 1/2 of the Southeast 1/4 of Section 17, Township 14 North, Range 4 West, Union Township, Isabella County, Michigan, more fully described as:
BEGINNING at the Southeast corner of said Section 17; thence S89°37'58"W 300.00 feet along the South line of said section 17; thence N00°17'42"W 400.00 feet; thence N89°37'58"E 300.00 feet to the East line of said Section 17; thence S00°17'42"E 400.00 feet along said East line to the POINT OF BEGINNING.
Containing 120,000 Sq. Ft. and/or 2.75 Acres of land, more or less.
Subject to the right of way of Lincoln Road.
Subject to right of way of State Highway M-20, also known as Remus Road as recorded in Liber 172, Page 421.
Subject to rights of way in favor of Consumers Paper Co. as recorded in Liber 273, Page 523 and Liber 516, Page 146.
Subject to Water and Sewer Easements in favor of Union Twp. as recorded in Liber 718, Page 830; Liber 722, Page 896 and Liber 731, Pages 297 & 307.
131 123 8' 44.0' 742 400 130'

GENERAL NOTES				
NO.	DESCRIPTION	DATE	BY	ISSUE REF.
1	MCDONALD'S ROAD SIGN - EXISTING			
2	ALL SITE WORK SHALL BE ACCORDING TO MCDONALD'S STANDARDS			
3	ALL LOT LIGHTING (FITURES, BASES, HULDS, CONDUIT) AND WIRING ARE EXISTING. IF OTHERWISE NOTED AS NEW OR RELOCATED, LOT LIGHTING SHALL MATCH EXISTING AND BE INSTALLED BY GENERAL CONTRACTOR AND PAID FOR BY OWNER/OPERATOR			
4	EACH DRIVE-THRU WINDOW TO BE PROVIDED A WITH DETECTOR LOOP - VERIFY ON FIELD THE EXISTENCE OF THE DETECTOR LOOPS. SANITARY EXISTING LOOP DETECTOR ELECTRICAL SYSTEM PROVIDE NEW WHERE NECESSARY. THE INFO EXISTING LOOP DETECTOR ELECTRICAL SYSTEM			
5	ALL LANDSCAPE AREAS SHALL BE BOUND DURING TO 1" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING AND IRRIGATION SYSTEM ARE PAID FOR BY THE OWNER/OPERATOR. SEE LANDSCAPE PLANS, IF APPLICABLE.			
6	GENERAL CONTRACTOR SHALL CONTACT "MDS DOC" 1-800-462-7171 (7:30) HOURS PRIOR TO CONSTRUCTION TO ALLOW FOR ACCURATE LOCATION OF ALL UNDERGROUND UTILITIES.			
7	REFER TO CIVIL ENGINEERING DRAWINGS FOR EXISTING/DEMOLITION AND PROPOSED UTILITIES, GRADING, PAVING SECTIONS, SOIL PROFILES AND DETAILS, IF APPLICABLE.			
8	REFER TO SITE LIGHTING AND SITE DETAIL SHEETS FOR LIGHTING TYPE, HEIGHT, MOUNTING AND LIGHTING LEVELS, IF APPLICABLE.			
9	EXISTING TRASH CORRAL TO REMAIN AND MATCH BUILDING'S BASE COLOR.			
10	ALL RADE: NOT CALLED OUT ON SHEET (1) SHALL BE A MAXIMUM OF 2:1"			
11	BARRIER FREE RAMP TO BE 8" W/ LONG WITH A MAXIMUM SLOPE OF 2:1" AND HAVE A NON-SLIP SURFACE - TYPICAL.			
12	PAINTED SITE DIRECTIONAL ARROWS, LINES AND SYMBOLS TO BE WHITE. HANDICAP LINES AND SYMBOLS ARE BLUE. (2) DRIVE-THRU DOUBLE-STRIPING & 6" SINGLE DIRECTIONAL ARROWS TO BE PAINTED YELLOW. LOT LIGHTING TO BE REMOVED AND RELOCATED PER PLANS AND MCDONALD'S DRIVE-THRU BRANDING SPECIFICATIONS. SEE SITE PLANNING GUIDE 13 1, OR LATER VERSION.			
13	INSTALLATION OF PARALLEL IS OPTIONAL, AND PER THE OWNER/OPERATOR'S REQUEST. IF USED, FLAGPOLES MUST BE ILLUMINATED.			

LAND/BUILDING/PARKING DATA AND NOTES				
LANE AREA	CROSS AREA	GROSS AREA	NET AREA (MINUS RIGHT OF WAY)	ZONING CLASSIFICATION
	120,000 S.F. OR 2.75 ACRES	67,500 S.F. OR 2.01 ACRES		B5 HIGHWAY BUSINESS
				ADJACENT ZONING (ALL DIRECTIONS):
				B5 HIGHWAY BUSINESS
GROSS BUILDING AREA: 4,311 S.F.				
BUILDING SETBACKS PROVIDED (EXISTING):				
FRONT YARD SETBACK	75 FEET, 1 INCH			
FRONT YARD SETBACK (EAST)	154 FEET, 3 INCHES			
SIDE YARD SETBACK (WEST)	59 FEET, 2 INCHES			
REAR YARD SETBACK	149 FEET, 2 INCHES			
PARKING REQUIRED:				
1 SPACE / 3 SEATS ALLOWED WITHIN MAXIMUM OCCUPANCY				
78 SEATS / 3 S.F. = 26 SPACES				
TOTAL PARKING REQUIRED: 26 SPACES				
NUMBER OF H.C. SPACES REQUIRED - 2 SPACES				
PARKING PROVIDED:				
STANDARD SPACES PROVIDED: 42 SPACES				
NUMBER OF H.C. SPACES PROVIDED: 2 SPACES				
TOTAL SPACES PROVIDED: 44 SPACES				
LOADING / UNLOADING AREA PROVIDED:				
(1) 8' 10" x 30'				
TOTAL LOADING / UNLOADING AREA PROVIDED: 240 S.F.				
LANDSCAPE PROVIDED (EXISTING):				
LANDSCAPE AREA IS EXISTING AND WILL ONLY BE MODIFIED AT NEW SIDE-BY-SIDE DRIVE-THRU.				
LOT LIGHTING PROVIDED (EXISTING):				
LOT LIGHTING IS EXISTING AND WILL ONLY BE MODIFIED AT NEW RECYCLE BIN CONSTRUCTION (SEE TAG NOTE #18)				
CONSTRUCTION TYPE:				
- NON-SPRINKLERED				
- 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS				



DATE	DESCRIPTION	BY	ISSUE REF.
12/20/18	SUBMITTAL TO ICD, USA FOR SITE PER		
7/25/19	SUBMITTAL FOR BID/PERMIT		
7/25/19	SUBMITTAL TO TWP FOR SPA		
3/20/20	SUBMITTAL TO TWP FOR SPA REVISIONS		

OWNER: McDonald's

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE: MICHIGAN
ADDRESS: 110 N. CARPENTER ST., CHICAGO, IL 60607

PARKING INFORMATION		
TOTAL SPACES	SPACES	X' X' X' @ 60'
44	2 B.F.	SPACES X' X' X' @ 60'
	3	SPACES X' X' X' @ 90'
		SPACES X' X' X' @ 0

ARCHITECT/PLANNER/APPLICANT		
SURVEYOR	CIVIL ENGINEER	
DorchenMartin Associates, Inc. Architect/Planner	VENTURE ENGINEERING, PLLC 5515 RIDGEBLUFF DR. SW BYRON CENTER, MI 49315 PHONE: 616-490-0329 email: venturecivil.com	2965 Greenfield Rd. Suite 107 Southfield, Michigan 48076 (248) 557-1002 Fax (248) 557-1231 e-mail: dm@dmarchitect.com www.dorchenmartin.com

SITE LOCATION		
PROJECT STREET ADDRESS	DATE	DATE
1963 E. REMUS ROAD		DEC 2018
	STATUS	BY
CITY	STATE	COUNTY
UNION TWP.	MICHIGAN	ISABELLA
NATIONAL I.D. NO.	SITE LOCATION CODE NO.	
17104	021-1306	
AS-BUILT		C1

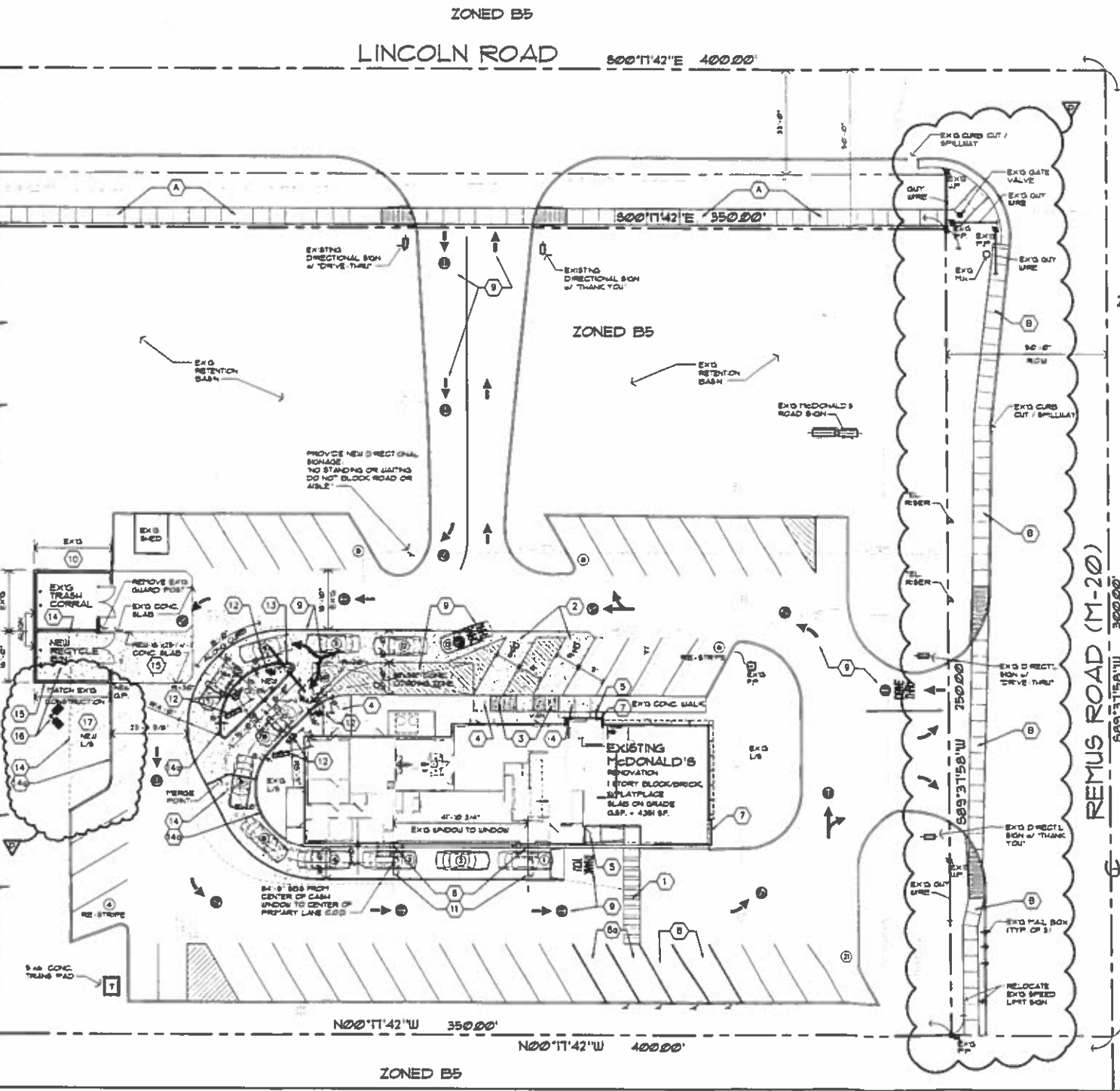
SITE COMPLIANCE NOTES PER ADA REQUIREMENTS

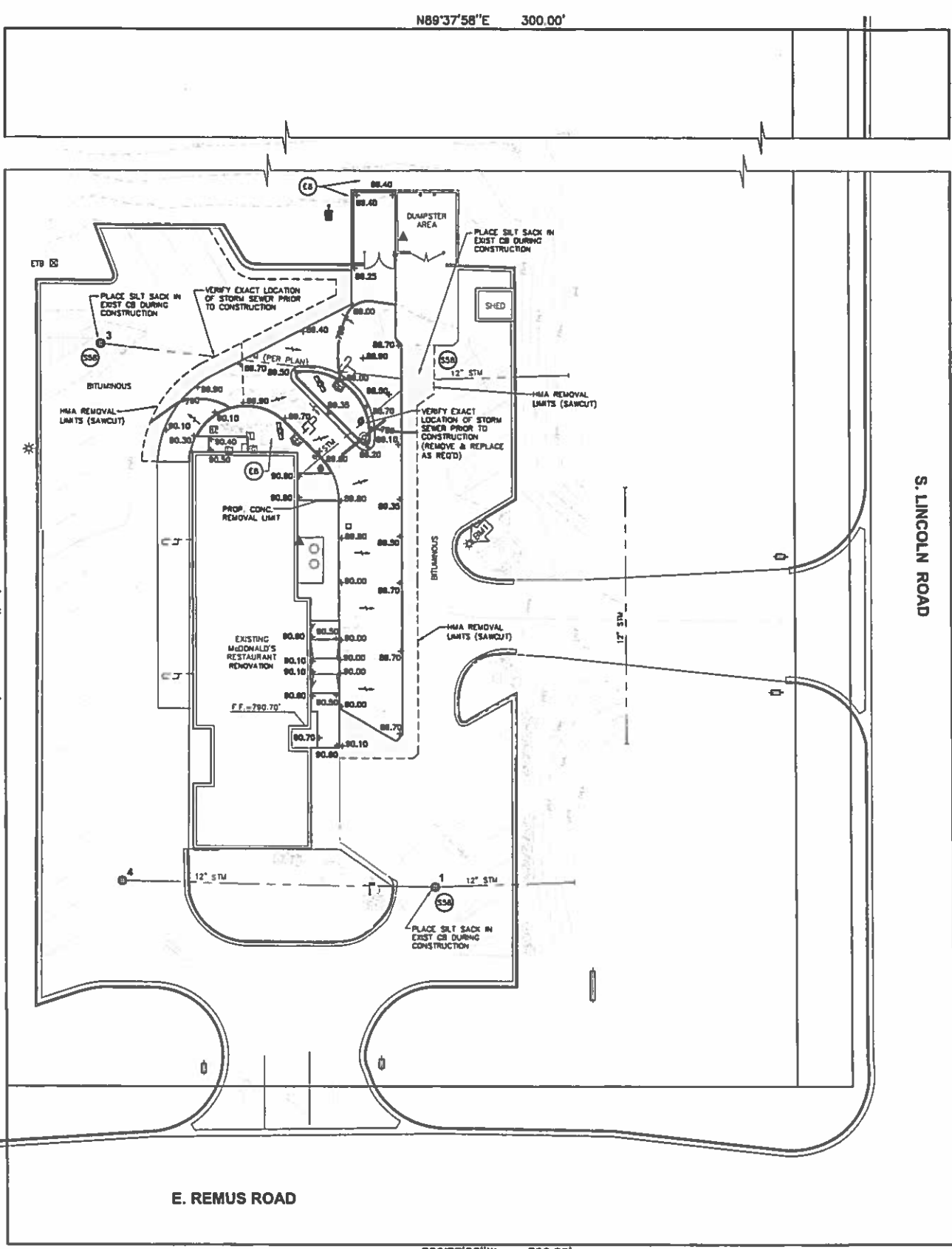
- GENERAL NOTE:**
1 REFER TO THE SITE SPECIFIC ADA SURVEY FOR A LIST OF BARRIERS TO BE REMOVED AND FAILURE COMPLIANCE WITH ADA REQUIREMENTS
- PARKING LOT:**
- 1 VAN ACCESSIBLE SIGN MUST BE PROVIDED AT LOCATED VAN ACCESSIBLE SPACE
 - 2 DRIVE THRU SPEECHREADING IMPAIRED SIGN MUST BE PROVIDED AT COD'S CABIN AND PRESENT SHOWS
 - 3 PARKING SPACES AND ACCESSIBLE AISLES TO HAVE MAXIMUM 1:48 (2%) RUNNING AND CROSS SLOPE
 - 4 CROSSWALK FROM ACCESSIBLE AISLE TO ACCESSIBLE RAMP TO HAVE MAXIMUM 1:20 (5%) RUNNING SLOPE AND MAXIMUM 1:48 (2%) CROSS SLOPE
 - 5 CHANGES IN LEVEL 1/4" MAXIMUM (OR 1/2" MAXIMUM WITH A BEVELED EDGE) 2 MAXIMUM SLOPE 1:60"
- CURB RAMPS:**
- 1 TRANSITIONS TO BE FLUSH AND FREE OF ABRUPT CHANGES
 - 2 MUST MAINTAIN 24" MINIMUM WIDTH (EXCLUSIVE OF FLARED SIDES)
 - 3 RAMPING SLOPE NEW 1/2" (2%) MAXIMUM - EXISTING 1:10 UP TO 6" RISE
 - 4 RAMP SURFACE TO HAVE MAXIMUM 2% CROSS SLOPE
 - 5 TOP LANDING TYPE 1:1" RISE TO HAVE MAXIMUM 2% SLOPE IN CHANGE OF DIRECTION
 - 6 TOP LANDING TYPE 1/2" RISE TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 1/2% RUNNING SLOPE
 - 7 GUTTER PAN SLOPE MAXIMUM 1:20 (5%)
- SIDEWALKS:**
- 1 SIDEWALKS TO HAVE MAXIMUM 1:20 (5%) CROSS SLOPE
 - 2 SIDEWALKS TO HAVE MAXIMUM 1:20 (5%) RUNNING SLOPE
 - 3 MINIMUM WIDTH 36"
 - 4 CHANGES IN LEVEL 1/4" MAXIMUM (OR 1/2" MAXIMUM WITH A BEVELED EDGE) 2 MAXIMUM SLOPE 1:60"
- ENTRY DOOR LANDINGS:**
- 1 LANDINGS SURFACE, INSIDE AND OUTSIDE TO HAVE MAXIMUM 2% SLOPE IN ANY DIRECTION

SCALE 1" = 20'

EXISTING SITE NOTE

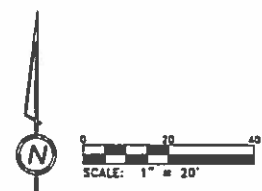
EVERYTHING SHOWN ON THIS SITE PLAN IS EXISTING EXCEPT THOSE AREAS "CIRCLED" INDICATE DRIVE-THRU CHANGING AND/OR REBUILDING MODIFICATIONS, OR UNLESS OTHERWISE NOTED





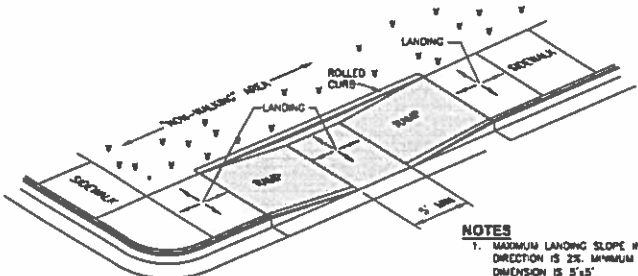
LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- DRAINAGE STRUCTURES
- PROPOSED STORM SEWER
- SILT FENCE
- +123.45 PROPOSED SPOT/GUTTER ELEVATION
- DIRECTION OF DRAINAGE FLOW
- SWALES
- DRAINAGE HIGH POINTS



SESC NOTES

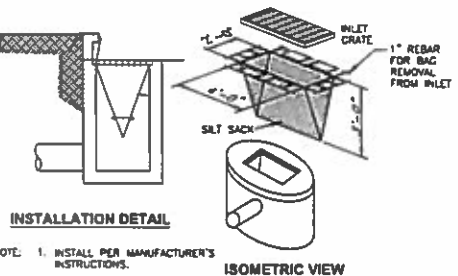
1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY & LOCAL PERMIT AGENCY STANDARDS.
2. GRADING WILL BE LIMITED TO REMOVAL LIMITS AS SHOWN.
3. NO SOIL WILL BE ALLOWED TO ACCUMULATE OFF SITE. ANY SOIL TRACKED OFF SITE IS TO BE IMMEDIATELY REMOVED BY THE CONTRACTOR.
4. WHERE POSSIBLE SILT FENCE IS TO BE PLACED 10' FROM TOE OF SLOPE TO ALLOW FOR MAINTENANCE.
5. ALL DISTURBED AREAS TO BE SEEDDED WITHIN 5 CALENDAR DAYS OF ACHIEVING FINAL GRADE WITH PERMANENT SEED MIXTURE.
6. ALL SLOPES GREATER THAN 1:4 AND DRAINAGE SWALES SHALL BE STABILIZED WITH NORTH AMERICAN GREEN DS-150 EROSION CONTROL BLANKET OR APPROVED EQUAL, UNLESS NOTED OTHERWISE. BLANKETS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
7. TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES TO BE CHECKED DAILY AND ANY PROBLEMS REMEDIATED IMMEDIATELY.
8. PERMANENT EROSION CONTROL MEASURES TO BE MAINTAINED BY PROPERTY OWNER. MAINTENANCE INCLUDES REGULAR INSPECTION AND CLEAN OUT OF CATCH BASINS, ENSURING VEGETATION IS ADEQUATE ON ALL SLOPES.
9. INSTALL SILT FENCE & INLET PROTECTION AS SHOWN. MAINTAIN SILT FENCE BY REMOVING SEDIMENT WHEN IT HAS REACHED 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE.
10. PLACE INLET PROTECTION IN ALL PROPOSED CATCH BASINS IMMEDIATELY FOLLOWING INSTALLATION. INLET PROTECTION TO BE "SILT SACK" BY ACP ENVIRONMENTAL OR APPROVED EQUAL.
11. PERMANENT CONTROL MEASURES MUST BE COMPLETED 5 CALENDAR DAYS AFTER THE FINAL EARTH CHANGE IS COMPLETED FOR EACH AREA DISTURBED. THIS INCLUDES BLANKETS, SEEDING, MULCHING & HYDROMULCHING, AS INDICATED IN THESE PLANS.
12. FOR ALL AREAS TO BE SEEDDED, THE MULCH MUST BE APPLIED IMMEDIATELY AFTER SEED APPLICATION.
13. CLEAN STORM SEWER, INLETS AND PIPES OF ALL CONSTRUCTION SEDIMENT IMMEDIATELY FOLLOWING PROJECT COMPLETION.
14. REMOVE TEMPORARY CONTROLS SUCH AS SILT FENCE, INLET PROTECTION AND NETTING ONCE VEGETATION IS ESTABLISHED AND THE SITE HAS BEEN STABILIZED.



SIDEWALK RAMP TYPE P
(PARALLEL RAMP)
NO SCALE

PERMANENT SEEDING NOTE

- ALL PROPOSED LAWN AREAS AND ALL AREAS DISTURBED BY CONSTRUCTION SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL AND LAWN SEED MIX AS INDICATED ON PLANS AND AS FOLLOWS:
- | PROPORTION | CLASS "A" SEED TYPE |
|------------|---------------------------|
| 10% | COMMON REDTOP BLENDED |
| 10% | COLUMBIAN REDTOP BLENDED |
| 30% | INDIAN REDTOP BLENDED |
| 30% | 100/100 CHEVON FESCUE |
| 30% | 30/30 CREEPING RED FESCUE |
| 10% | SHAW PERENNIAL RHYZOMES |
| 10% | BRAND PERENNIAL RHYZOMES |
- SEEDING RATE SHALL BE 4 TO 6 lbs. PER 1000 SQ. FEET
ALL AREAS DESIGNATED FOR PERMANENT SEEDING SHALL BE HYDRO-SPRAYED.



- INSTALLATION DETAIL**
- NOTE: 1. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- ISOMETRIC VIEW**
- SSB INLET PROTECTION - FABRIC DROP**

MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET S-E-S-C KEYING SYSTEM

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
ES	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
SSB	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.

NOTES:

1. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES IN PLACE UNLESS NOTED FOR REMOVAL.
2. ALL CONCRETE SIDEWALK & CURB REMOVALS SHALL BE TO THE NEAREST JOINT.
3. BITUMINOUS PAVEMENT REMOVAL LIMITS SHALL BE BY SAW CUT.
4. EXISTING UTILITIES SHOWN ARE FROM RECORD PLANS AND EVIDENCE IN THE FIELD. NO GUARANTEE IS MADE FOR ACCURACY OR THAT THE UTILITIES SHOWN ARE THE ONLY IN THE AREA.
5. CONTRACTOR SHALL CLEAN & REMOVE SEDIMENT FROM ALL SITE DRAINAGE STRUCTURES FOLLOWING CONSTRUCTION.
6. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET UNION TOWNSHIP REQUIREMENTS.
7. PROPOSED SITE WORK CONSISTS OF NEW CURB, RE-PAVING AND RE-GRADING ONLY. NO OTHER WORK INVOLVING ANY EXISTING SITE UTILITIES IS PROPOSED. TOTAL DISTURBED AREA = 0.17 ACRES.
8. IMPERVIOUS SURFACE NOTE:
EXISTING IMPERVIOUS SURFACE = 37,751 SF
PROPOSED IMPERVIOUS SURFACE = 37,818 SF
PROPOSED IMPROVEMENTS RESULT IN A 135 SF DECREASE IN IMPERVIOUS SURFACE.
9. REFER TO SITE PLAN FOR PARKING SPACE AND LOT STRIPING.

ELEVATION DATUM

All Elevations are based on NAVD 88 Datum.
Contours are illustrated at 1.0' intervals

BM#1 Elevation 791.60
Box cut in North Northeast side of concrete light pole base 55'± east of the east side of McDonald's building

NOTE: ADD 700 TO ALL PROPOSED SPOT ELEVATIONS TO MATCH SURVEY DATUM.

EXIST. STRUCTURE INVERTS

- ROUND CB#1**
RM: 788.20
12" E 783.94
12" W 783.97
NO OTHER PIPES VISIBLE
- ROUND CB#2**
RM: 788.20
12" E 783.89
6" SW 784.30
12" W 783.90
NO OTHER PIPES VISIBLE
- ROUND CB#3**
RM: 788.41
12" E 784.43
NO PIPES VISIBLE
TOP OF WATER 784.61
- ROUND CB#4**
RM: 788.90
12" E 784.50
NO OTHER PIPES VISIBLE

PAVING SPECIFICATION
(MINIMUM 3" TOTAL COMPACTED ASPHALT THICKNESS)

AUTO PARKING:
SUBBASE: 12" CLJ SAND
BASE: 8" MIN. STONE, 21A, 21AA OR EQUIV.
ASPHALT: 1.5" MIN. LEVELING COURSE MDOT HMA 3C
1.5" MIN. WEARING COURSE MDOT HMA 4C OR EQUIV.

CONCRETE PADS & PAVING:
SUBBASE: 12" CLJ SAND
BASE: 8" MIN. STONE, 21A, 21AA OR EQUIV.
CONCRETE: 4000 PSI-355 W/ 8AA Limestone, 6" MIN. DEPTH W/ 6"x6" #10 W.W.F. AND "FIBERMESH" CRACK CNTRL FIBERS

PARKING INFORMATION

TOTAL SPACES	SPACES	X	0	·
	SPACES	X	0	·
	SPACES	X	0	·
	SPACES	X	0	·

ENGINEERING

VENTURE ENGINEERING PLLC

8516 Ridgecroft Dr. SW
Byron Center, MI 48315
616-498-6329
ventureve.com

SURVEYOR

SITE GRADING & EROSION CONTROL PLAN

PROJECT STREET ADDRESS 1963 E. REMUS ROAD			STATUS	DATE	BY
TOWNSHIP UNION			DATE DRAWN	2/6/19	JAC
STATE MICHIGAN			PLAN CHECKED	2/6/19	JMB
COUNTY ISABELLA			AS-BUILT		
NATIONAL STORE NO. 17106	SITE LOCATION CODE NO. 021-1306		C2		

REV	DATE	DESCRIPTION	BY	ISSUE REF
3-21-19		SUBMITTAL TO TWP FOR SPA REVISIONS		



McDonald's

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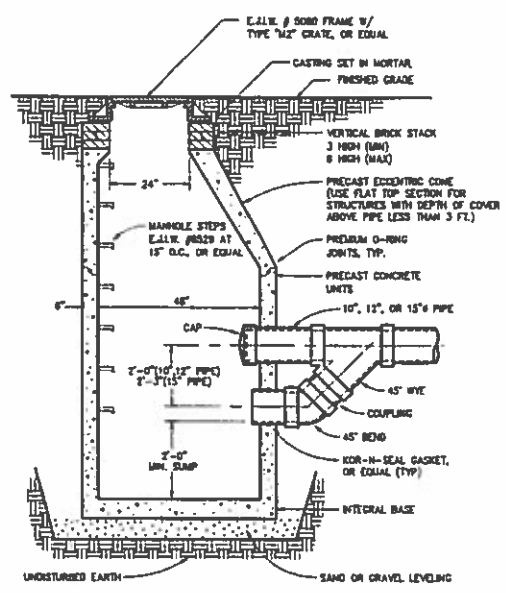
MICHIGAN REGION
1021 N.W. GREENWOOD BL. STE. 300 BIRMINGHAM, AL 35202 (PH) 205-988-0000 (F) 205-988-1001

PLAN APPROVALS

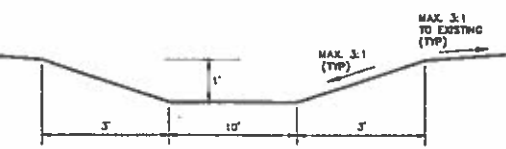
SIGNATURE (2 REQUIRED)	DATE

CO-SIGN SIGNATURES

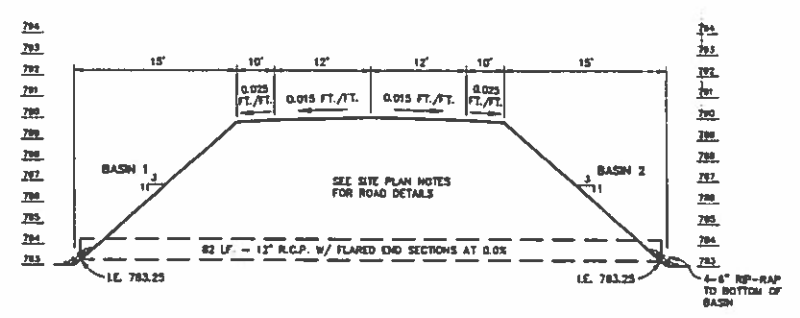
REGIONAL MGR.	CONSTR. MGR.	OPERATIONS DEPT. MGR.	REAL ESTATE DEPT. MGR.	CONTRACTOR	DRAWER



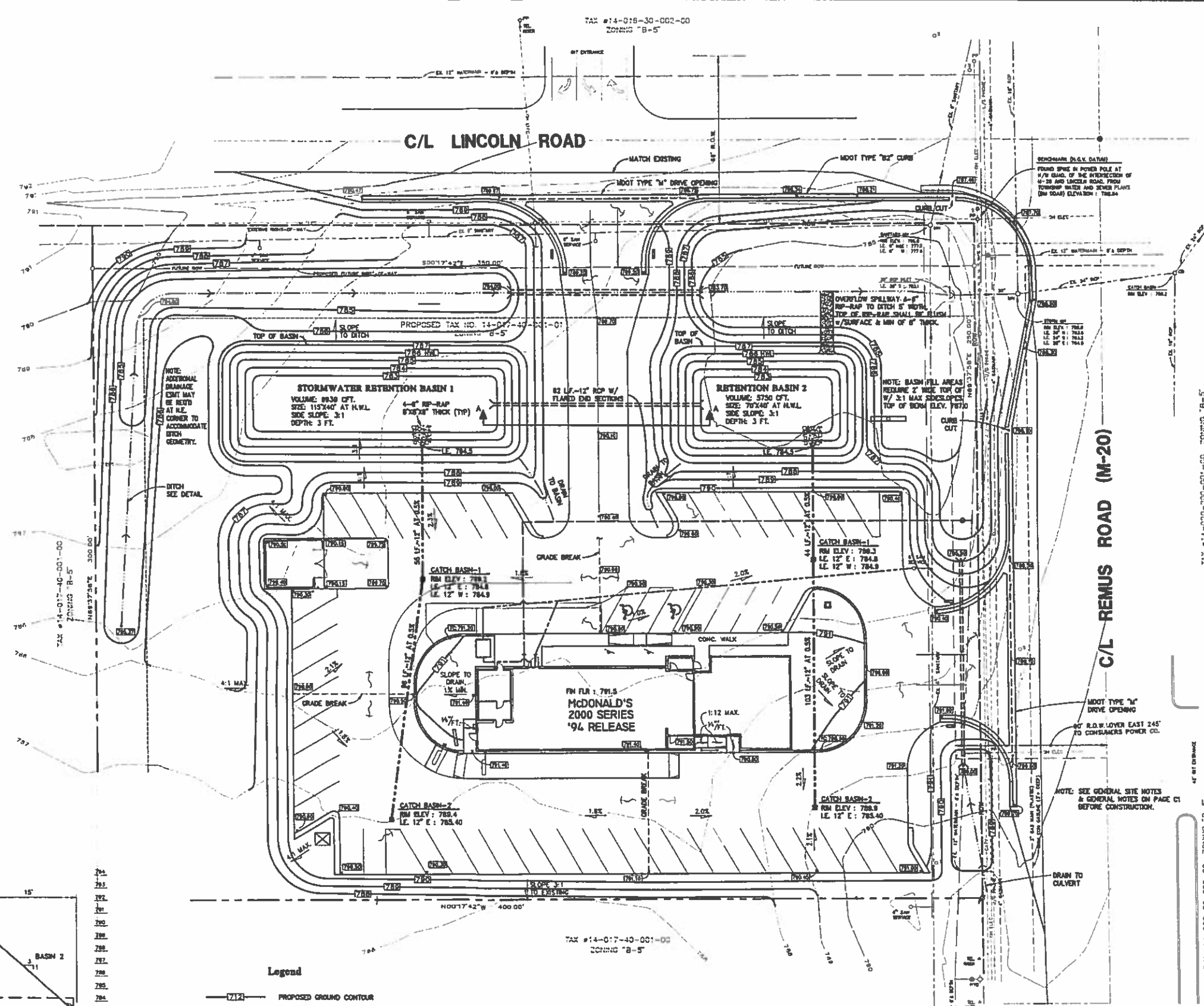
**TYPE I STRUCTURE
CATCH BASIN DETAIL**
NO SCALE



TYPICAL DITCH CROSS SECTION
NO SCALE



TYPICAL ROAD CROSS SECTION 'A-A'
NOT TO SCALE



- Legend**
- PROPOSED GROUND CONTOUR
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - PROPOSED TOP OF CURB ELEVATION
 - PROPOSED STORM SEWER
 - DRAINAGE DIRECTION ARROW

SITE PLAN
SCALE 1" = 20'

NOTE: SEE SHEET C3 FOR CROSS SECTIONS B-B AND C-C.

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	7-25-85	MOVE BUILDING 3'	CJJ	
2	7-25-85	ADD CURB REVISIONS	CJJ	
3	7-25-85	ADDED PLAYLAND	CJJ	
4	8-25-85	CURB & ROAD REVISIONS AS REQUESTED BY MOOT	CJJ	
5	8-19-85	MOOT CURB AND ROAD REVISIONS AND GRADING CHANGES	CJJ	
6	8-28-85	ADD CURBLET AND GRADING AS REQUESTED BY MOOT	CJJ	

McDonald's

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OFFICE: GRAND RAPIDS REGION
ADDRESS: 8431 THUNDER B.L., GRAND RAPIDS, MICHIGAN 49544 PH: (616) 942-7248

PLAN APPROVALS		DATE	BY
SIGNATURE (2 REQUIRED)			
MECHANICAL ENGR.			
CIVIL ENGR.			
CONTRACTOR			
OWNER			

STATUS: DATE: BY: 5-9-95 TcR

Goisling Czubak Associates
Engineers - Surveyors
Environmental Services

Goisling Czubak Associates, P.C.
523 West Fourteenth
Traverse City, MI 49684
616 946-9191
Fax 616 941-6803



GRADING LAYOUT

C 2
REFERENCE

Untitled Map

Write a description for your map.

Legend

-  1963 E Remus Rd
-  McDonald's



Office Pkwy

1963 E Remus Rd

20

100 ft

Google Earth

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